

SITE LOCATION: 528 Highland Street**AGENDA ITEM: II.w****HISTORIC DISTRICT:** Woodland Heights**HPO File No. 140224****Owner:** Michael and Laura Czapski**Applicant:** same**Date Application Accepted:** 1/21/2014**90-day Waiver:** N/A**SITE INFORMATION:**

Lot 8 and Tract 7, Block 20, Woodland Heights Subdivision, City of Houston, Harris County, Texas. The site includes a 1,634 square foot, 1-story brick and frame residence and detached garage situated on a 75' x 100' 7,500 square foot corner lot.

TYPE OF APPROVAL REQUESTED: Alteration – Construction of a 2-story 2,078 square foot addition and attached garage to a 1634 square foot 1-story contributing house.

The applicant was denied a COA for a two-story addition at the November 2013 and January 2014 meetings. The applicant has since revised the proposed addition and submitted a new application. The plan is to construct a two-story 2,078 square foot addition and attached garage to the rear and to the side of an existing one-story 1,616 square foot contributing residence. The existing garage will be demolished.

Project Details:

- **Shape / Mass:** The existing residence is rectangular in shape and has a partial wrap around porch (which wraps to the east). The existing residence has a width of 31'-5" (34'-4" including the partial wrap around porch). The existing house has a total length of 57'-3" (64'-1" including the partial wrap around porch and rear deck). The original rear wall is located 52'-10" from the front wall. The ridge height of the existing structure is 21'-0". See drawings for more detail.

The proposed addition will have a total width of 59'-3½" and a total depth of 27'-5½" (34'-5½" including proposed porch). The ridge height of the proposed addition will be 30'-5¼". The addition will begin approximately 44' (86%) from the front wall (approximately 14% (6.5') forward of the original rear wall). See drawings for more detail.

In the revised February 2014 proposal, the proposed front gable, located on the eastern portion of the 2-story addition, was removed and is now hipped. The overall ridge and eave heights were additionally dropped a foot. This necessitated the smaller windows on the façade of the addition.

The initial proposal had a total width of 65'-4" and a total depth of 42'. The ridge height of the initial proposal was 31'-8". The addition of the initial proposal began approximately 32'-8" (62%) from the front wall (approximately 38% forward of the rear wall) and a portion of the addition was inset 3'-10" into the existing roof along the west side of the existing structure.

- **Setbacks:** The existing residence has a front (north) setback of 21.2'; an east side setback of 5.7'; a west side setback of 34'-7"; and a rear setback of 21.7'. See drawings for more detail.

The proposed addition will retain the front (north) setback of 14'-3" and have an east side setback of 4'-10"; a west side setback addition of 10'-1"; and a rear (south) setback of 3'. See drawings for more detail.

CERTIFICATE OF APPROPRIATENESS

HAHC ACTION: Approval**BASIS FOR ISSUANCE:** HAHC Approval**EFFECTIVE:** February 13, 2014**Planning Official****Date**

This Certificate of Appropriateness is valid for one year from its effective date.

This Certificate is in addition to any permits or approvals that are required by municipal, state and federal law.

Your plans must be stamped by Historic Preservation Office staff prior to submittal to permitting. Call 713-837-7963 to set up an appointment.

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- **Roof:** The existing roof features a composition roof with several intersecting gables at the front and is hipped at the rear. The existing roof has a pitch of 6:12 and an eave height of 12'-5". See drawings for more detail.

The proposed roof of the second-story addition will be hipped. The proposed roof will also be of a composition material and will have a pitch of 6:12. The proposed eave height will be 22'-5". A 20' long by 3'-6" tall dormer with a shed roof and four windows will span the rear portion of the roof. See drawings for more detail.

- **Exterior Materials:** The existing residence features 4" wood siding, a wood porch, and brick porch piers. See drawings for more detail.

The proposed addition will feature 4" cementitious siding. The existing east portion of the porch is sagging and will be repaired and the brick pier foundation supports will also be repaired. The rotted fascia and soffit material will be replaced as needed. See drawings for more detail.

- **Windows / Doors:** The existing house features wood 1-over-1 double hung windows. The majority of the existing windows are 2'-8" x 6'-6". See drawings and floor plans for window/door location, design, and dimensions.

The majority of the proposed windows will be wood 1-over-1 sash windows, however, there will be several fixed wood windows. Several windows towards the rear will be removed or shifted. One of the removed windows will be replaced with doors. The rear dormer will feature four 2'x2' wood fixed windows. See drawings and floor plans for window/door location, design, and dimensions.

- **Foundation:** The residence features a brick pier and beam foundation with a height of 3'-5". See drawings for more detail.

The proposed addition will not alter the current foundation. The proposed garage and rear portion of the addition will have a concrete slab foundation. See drawings for more detail.

NOTE: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap, must be retained in place, except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures, and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing the materials. A revised COA may be required.

Elevation Details:

- **North Elevation (front facing Highland Street):** The façade of the existing house features three bays set behind a partial wrap-around porch. The porch is supported by brick foundation piers and features 5 narrow wood columns. The western bay features the front entry door flanked by sidelites and topped by a transom. This first bay is topped with a front facing gable extending forward from larger side facing gable. A vent is centered in the gable. The center bay features a 1-over-1 wood window and the eastern bay features a door topped by a transom. The partial wrap-around porch extends an additional 6'-11" and then continues 21'-8" to the south along the east elevation. The main roof is a side facing gable projecting from a larger front facing gable. See photos and drawings for more detail..

The second-story of the proposed addition will be inset 3'-10" on the western side and will extend 59'-3 1/2" along the rear property line. Above the existing structure, the addition will feature two wood fixed windows and will be topped by a hipped roof. To the east, on the side addition, the first-story will feature a porch with

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two sets of French doors and a single door. The porch is topped by a hipped composition roof. The second-story of the side addition will feature a grouping of three 1-over-1 wood windows along with a pair of 1-over-1 wood windows. The addition will be topped by a hipped roof. See drawings for more detail.

- **West Elevation (facing Northwood Street):** The existing west elevation features the profile of the front porch to the north. South of the porch is a large 1-over-1 window flanked by smaller 1-over-1 windows. South of these windows is a semi-hexagonal bay featuring a single 1-over-1 window on each side. The bay feature is topped with a gable roof featuring a centered vent. The bay is followed by a pair of 1-over-1 windows and a single 1-over-1 window at the rear. Adjacent to the rear wall is a back deck. See photos and drawings for more detail.

The proposed addition will begin approximately 8'-6" from the original rear wall of the house. On the first-story of the existing structure, the rear window will be removed and replaced by two 2'x3'-10 wood windows. To the south will be the attached garage (which will be inset by 11'0" under the second-story). The southernmost portion of the overhang is supported by a column atop a 6.5" wide brick pier. The second-story has five 2'-8"x6"-0" double hung wood windows and is topped by hipped roofs. See drawings for more detail.

- **East Elevation (facing side property line):** The existing east elevation features the profile of the front porch as well as the partial wrap-around portion. The side porch features protruding gable roof. Three adjacent vents are centered in the side gable. Set behind the side porch are two 1-over-1 windows. To the south of these windows is a pair of 1-over-1 windows followed by grouping of three 1-over-1 windows. A ribbon of three smaller 1-over-1 windows is located at the rear. The addition is topped by a gable roof at the front and is hipped at the rear. See photos and drawings for more detail.

The proposed addition will begin approximately 6'-6" from the original rear wall of the house. The ribbon of three 1-over-1 windows and the southernmost window in the grouping of three 1-over-1 windows and the will be removed. In their place, a French door will be installed and the addition constructed. The remainder of the first-story will not contain any additional fenestration. The second-story will have two tall 1-over-1 wood windows. A front gable roof and hipped roof will top the addition. See drawings for more detail.

- **South Elevation (facing rear property line):** The existing rear elevation features two bays. The eastern bay features a ribbon of five 1-over-1 windows and is topped by a hipped roof. The western bay features a for and two 1-over-1 windows. The rear is topped by a hipped roof. See photos and drawings for more detail.

The proposed rear elevation will have the second-story overhanging the western portion overhanging the rear addition by 11', supported by a square column set atop a brick pier. The first-story will have one 1-over-1 window and three square fixed windows. The second-story will have pair of 1-over-1 windows and a single fixed window. The addition will be topped by a hipped roof. See drawings for more detail.

HISTORY AND SIGNIFICANCE:

The property is contained within the boundary of the Woodland Heights Historic District. At the time of the district survey, the 1-story Queen Anne-style residence with colonial influences constructed circa 1920, was classified as 'Contributing' to the district.

PUBLIC COMMENT:

No public comment has been received.

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APPROVAL CRITERIA**Sec. 33-241(a). EXTERIOR ALTERATION, REHABILITATION, RESTORATION AND ADDITION**

HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

S D NA**S - satisfies D - does not satisfy NA - not applicable**

- | | | | | |
|-------------------------------------|--------------------------|-------------------------------------|------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) | The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) | The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) | The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) | The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) | The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) | New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (7) | The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) | Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) | The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) | The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s); |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) | The proposed activity will comply with any applicable deed restrictions. |

STAFF RECOMMENDATION: Approval of the COA**CERTIFICATE OF APPROPRIATENESS**

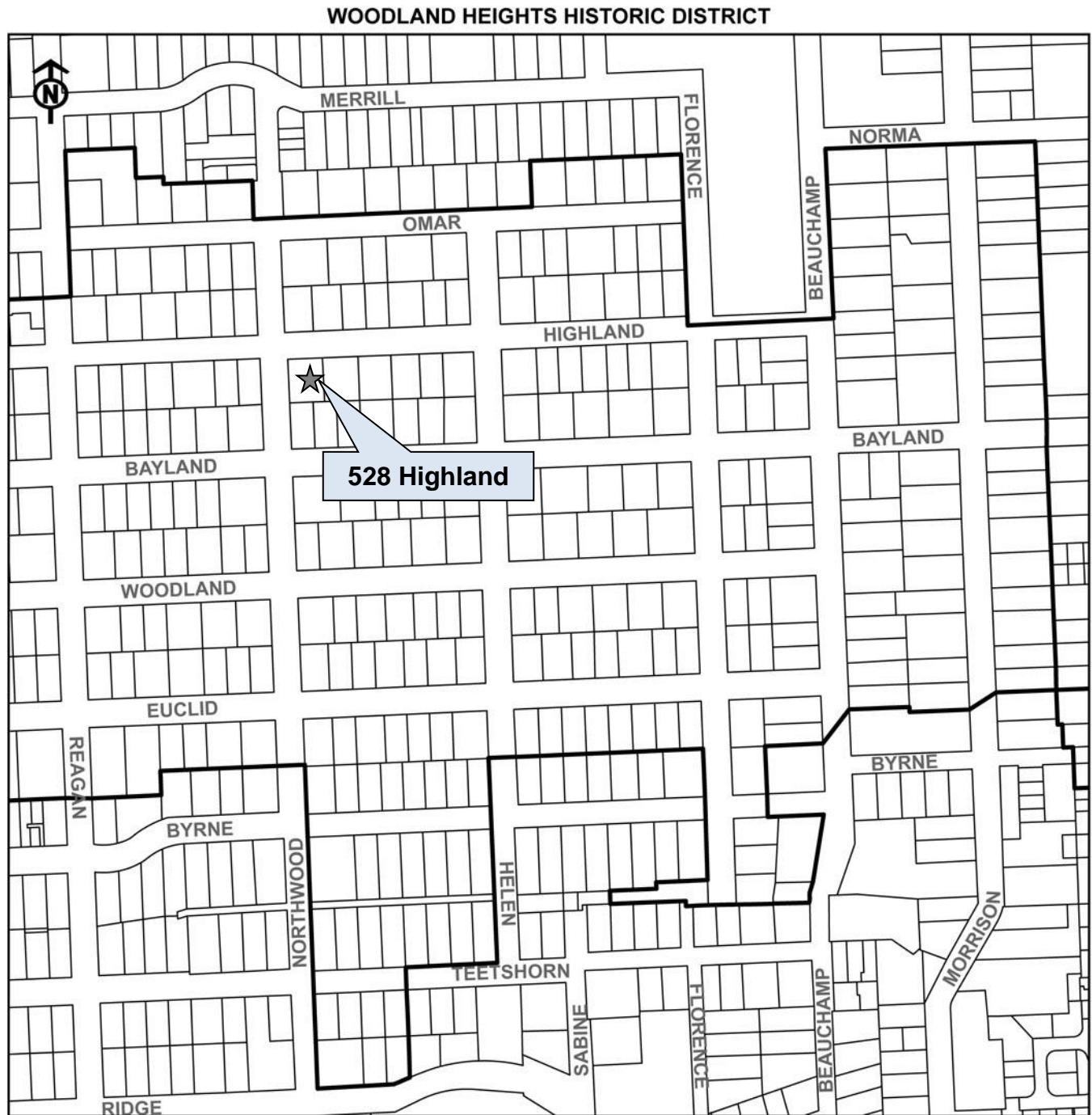
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Site Location Map



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Photo from Historic District Inventory



Current Photograph



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Neighboring Properties

To the East



Looking South (down Northwood Street)



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Blockface Photos

529 Highland (Contributing)



523 Highland (New Construction)



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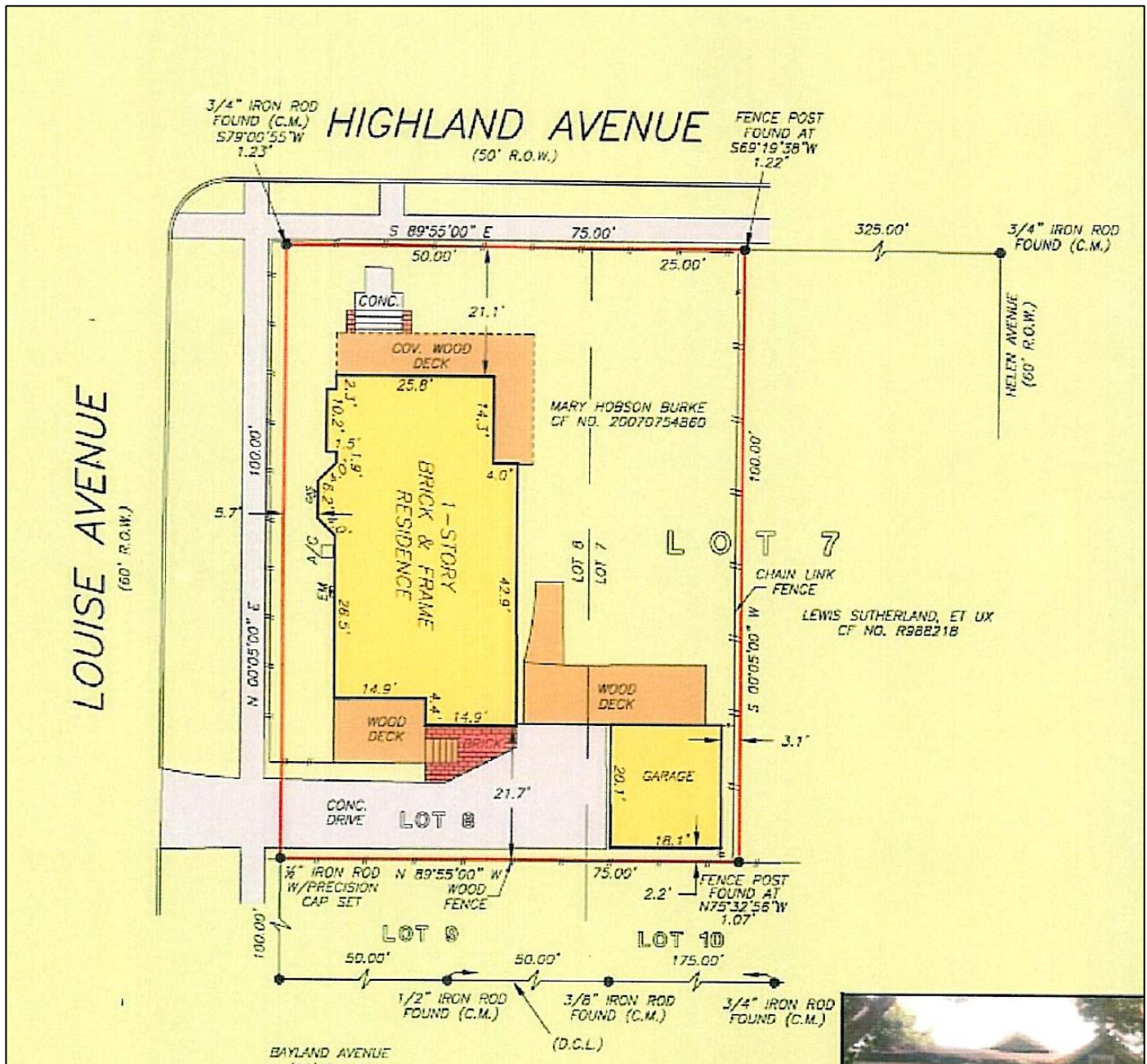
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Survey



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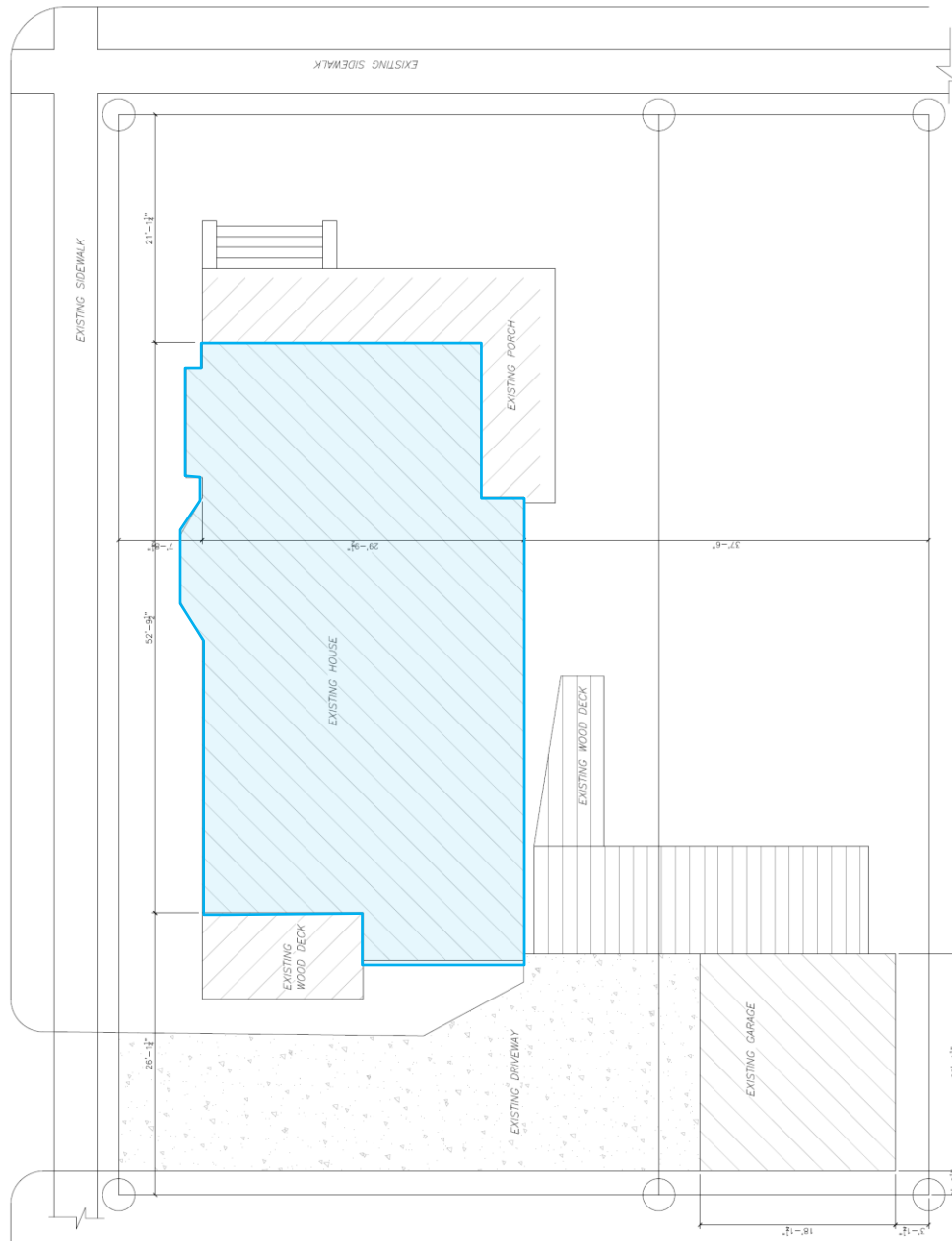
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**Site Plan
Existing**



- Extent of existing original historic structure
- Extent of proposed addition

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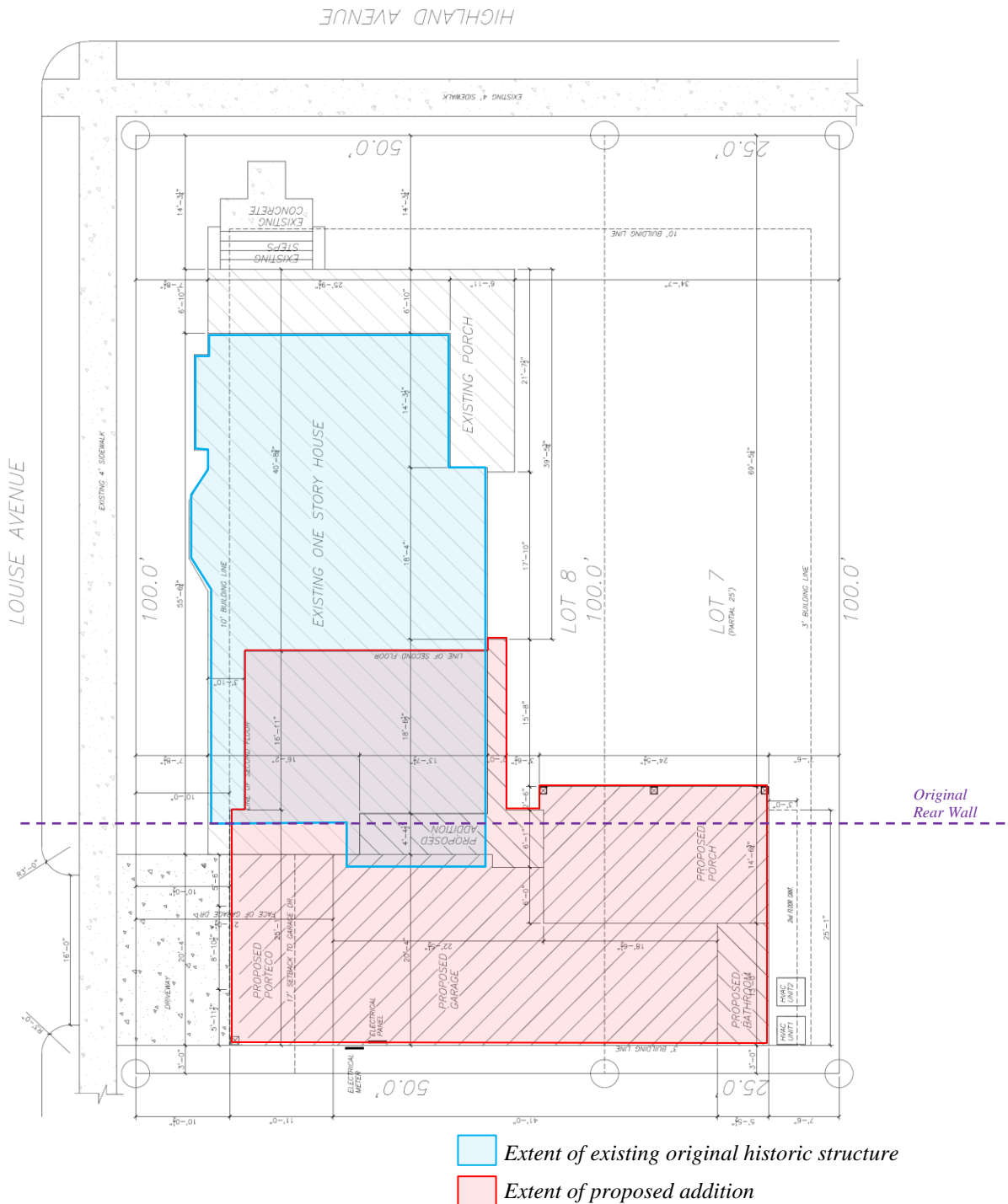
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Site Plan

Denied November 2013



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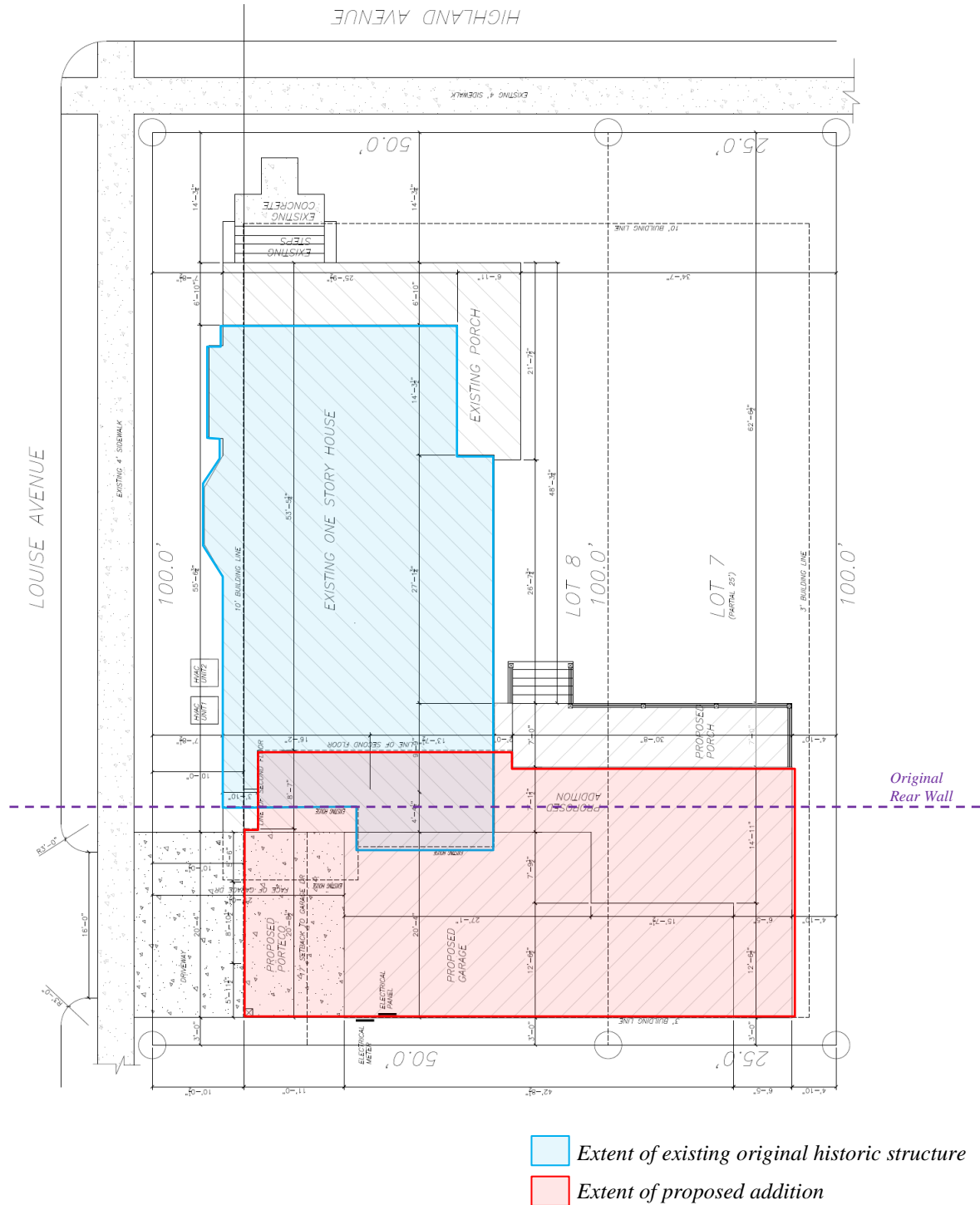
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Site Plan

Proposed (no footprint change from January 2014)



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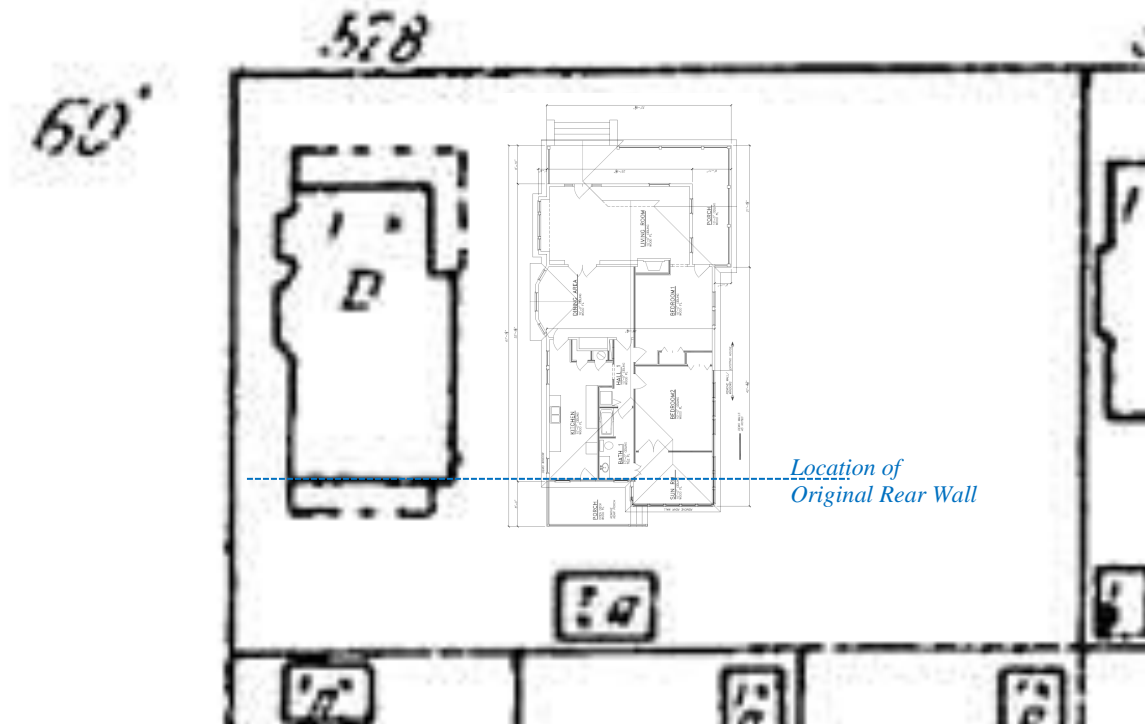
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Sanborn Map Comparison



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North Elevation (front facing Highland Street)

Existing



Denied January 2014



Proposed February 2014



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AGENDA ITEM: II.w**HPO File No. 140224****West Elevation (facing Northwood Street)****Existing***Location of
Rear Wall***Denied January 2014****Proposed February 2014****CERTIFICATE OF APPROPRIATENESS**

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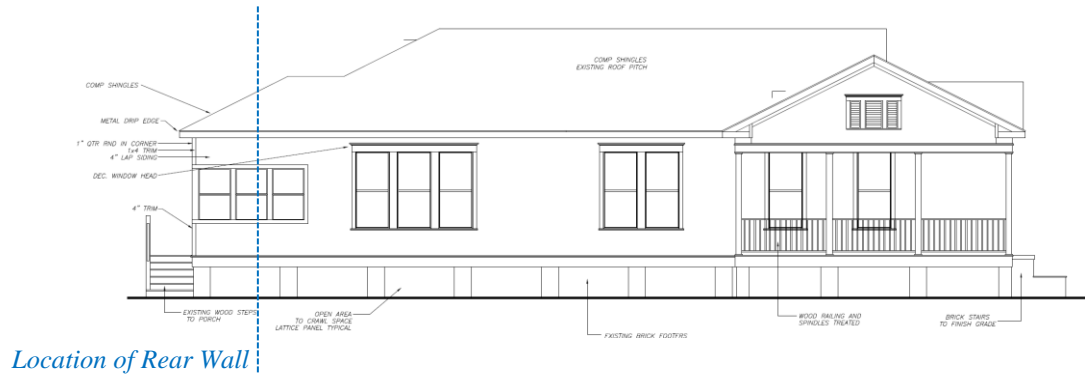
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East Elevation (facing side property line)

Existing



Location of Rear Wall

Denied January 2013



Proposed February 2014



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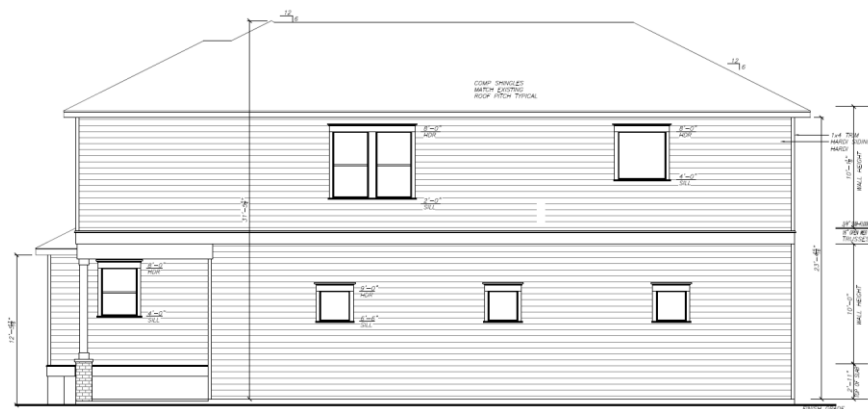
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South Elevation (facing rear property line)

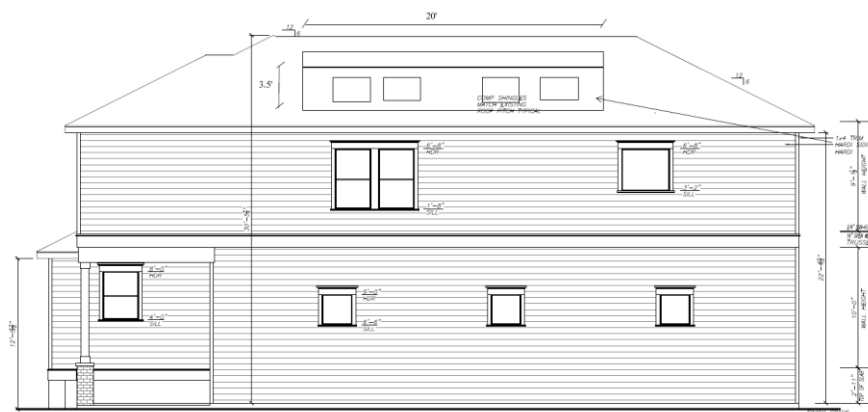
Existing



Denied January 2014



Proposed February 2014



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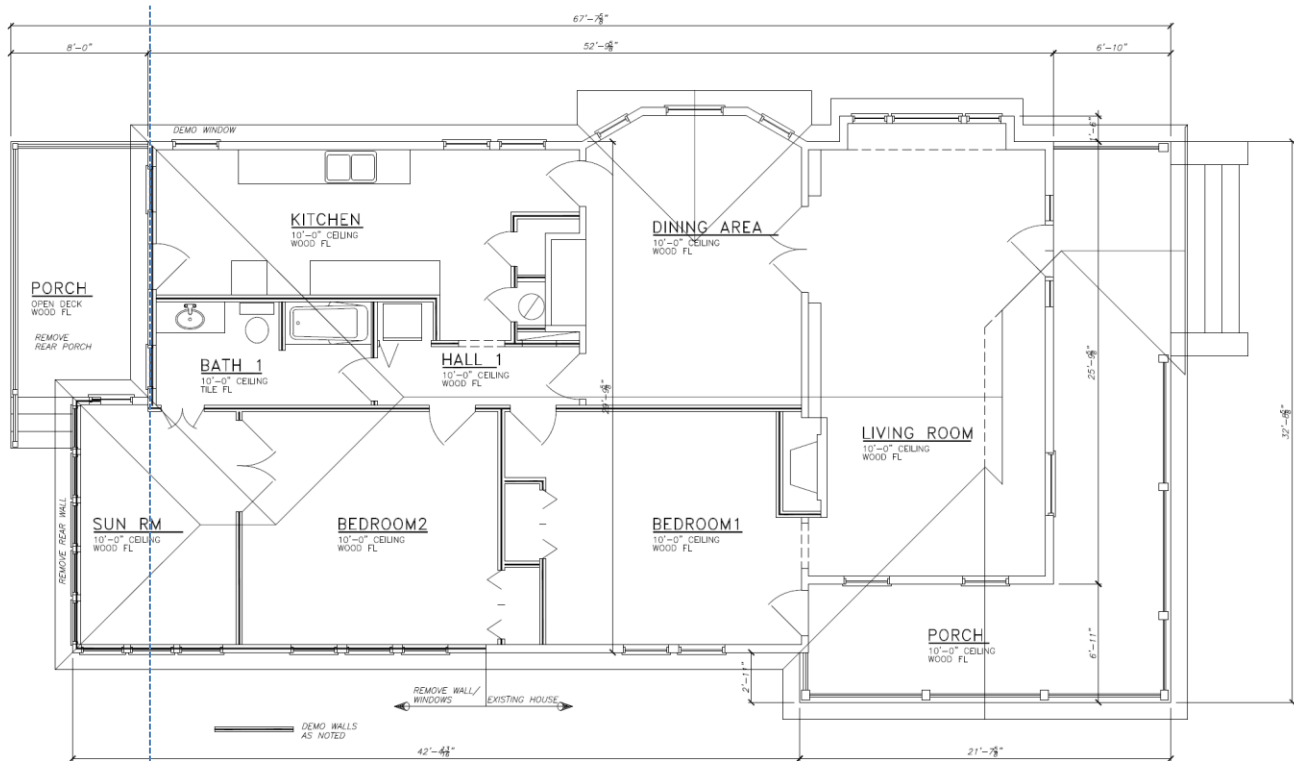
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Existing Floor Plans



*Location of
Original Rear Wall*

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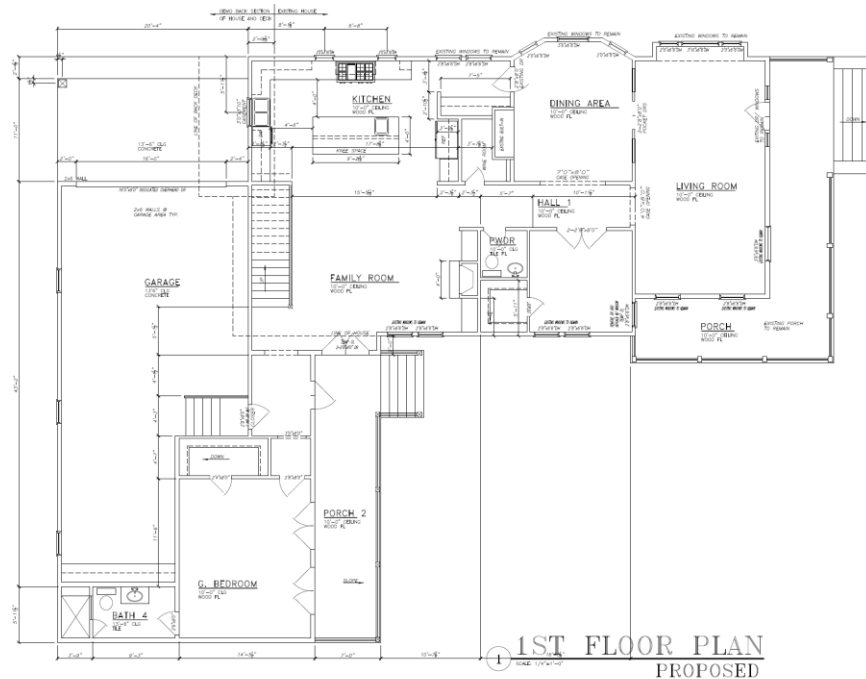
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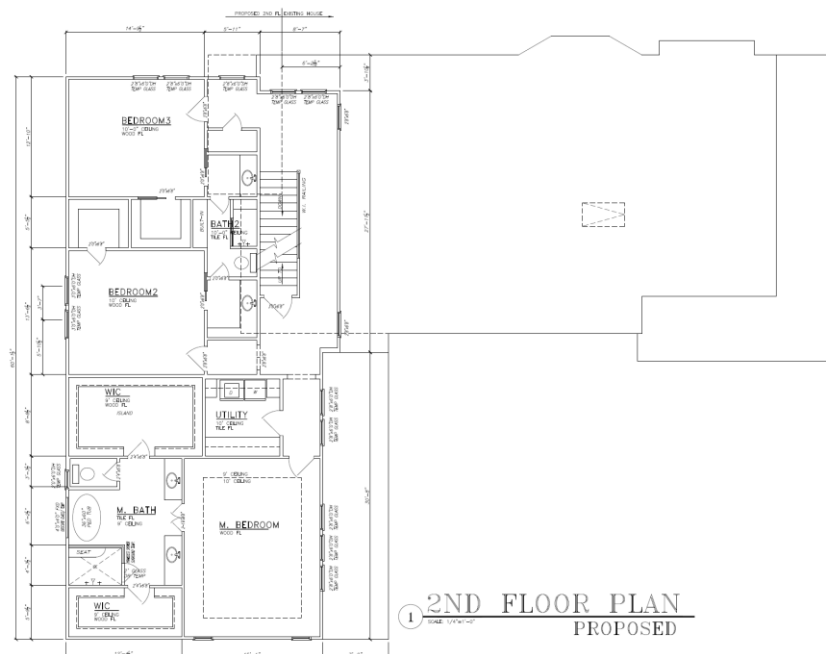
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Proposed Floor Plans

First Floor



Second Floor



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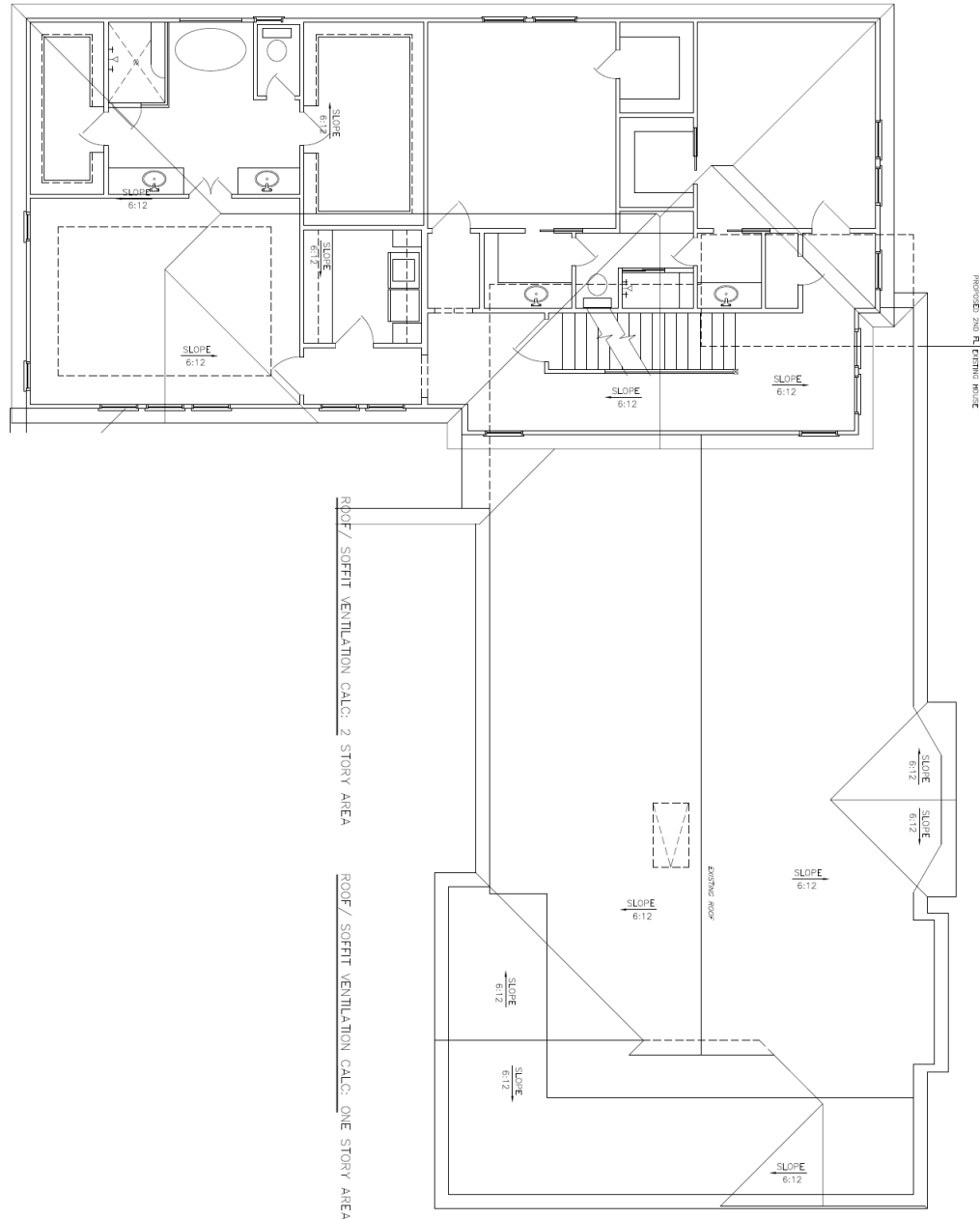
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Roof Plan



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Line-of-Sight Drawing Proposed



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Photos Submitted by Applicant



Eastside view



Front view of house



View of holes and damage to existing siding



View of rear side of house



View of roof sagging



View of Westside of house

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3-D Rendering

Denied January 2014



Proposed February 2014



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